



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/16057 (TP366/2023)

Our File Reference Number: Erf 1045, Jamestown

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL [REDACTED]

Sir / Madam

APPLICATION FOR DEPARTURE ON ERF 1045, JAMESTOWN

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1. That the application for a Departure on Erf 1045 Jamestown in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2023, to relax the street building line from 2m to 0m (adjacent to Mountainview Street) for the proposed additional bedrooms and the extension of the existing living room.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to conditions of approval.

- 2.2. The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:
 - a. The approval only applies to the proposed departure under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.
 - b. The development must be undertaken generally in accordance with the site plan as referenced (A 2023/10/01) drawn by D. Lakey dated May 2023 and attached as **Annexure B**.
 - c. The conditions of the Directorate: Infrastructure Services as specified in their memo dated, 27 March 2024, and attached as **Annexure C**, be compiled with.

2.3. The reasons for the above decision are as follows:

- a. The encroachment of the building line does not undermine the character of the area due to the use and small scale thereof.

3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

4.1. The personal particulars of the Appellant, including:

- i. First names and surname
- ii. ID number
- iii. Company of Legal person's name (if applicable)
- iv. Physical Address
- v. Contact details, including a Cell number and E-Mail address

4.2. Reference to this correspondence and the relevant property details on which the appeal is submitted.

4.3. The grounds of the appeal which may include the following grounds:

- i. that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000)
- ii. grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

4.4. Whether the appeal is lodged against the whole decision or a part of the decision.

4.5. If the appeal is lodged against a part of the decision, a description of the part.

4.6. If the appeal is lodged against a condition of approval, a description of the condition.

4.7. The factual or legal findings that the appellant relies on.


4.8. The relief sought by the appellant.

4.9. Any issue that the appellant wishes the Appeal Authority to consider in making its decision.

4.10. That the appeal includes the following declaration by the Appellant:

- i. The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - ii. That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information, or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect, or misleading or not believing them to be correct.
5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of e-mail at the following address: landuse.appeals@stellenbosch.gov.za.
6. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
7. The approved tariff structure and the banking details for the General Account can be accessed and viewed on the municipal website. For any enquiries the office can be contacted at landuse.appeals@stellenbosch.gov.za.
8. An applicant who lodges an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
10. Kindly note the above decision in the case of any approval, is suspended, and may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully

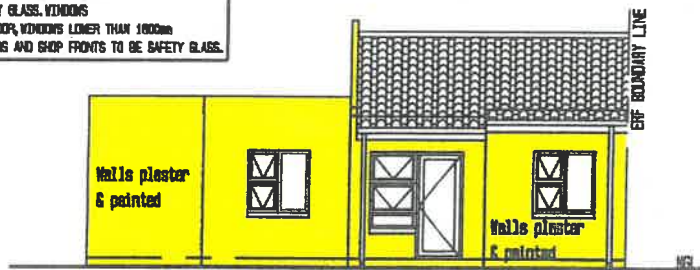
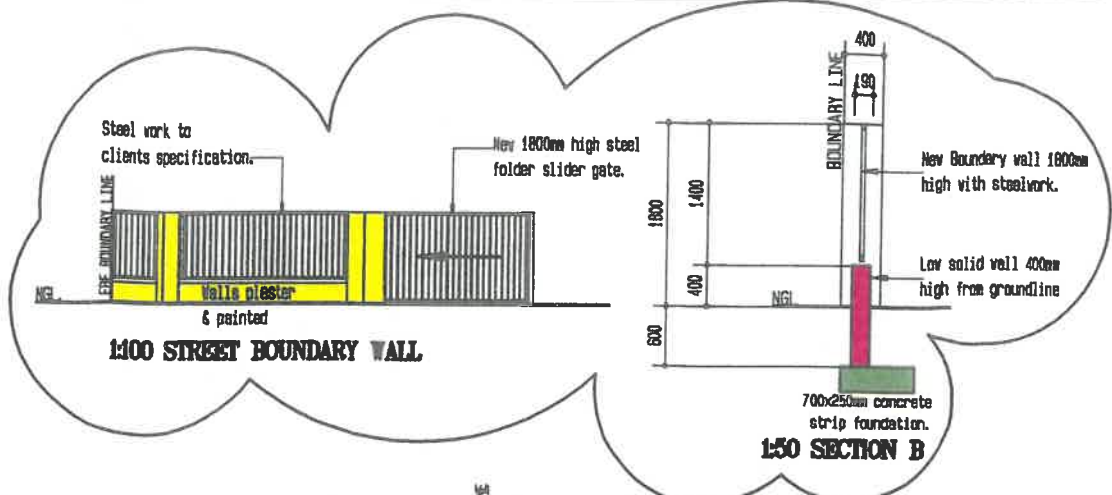


FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

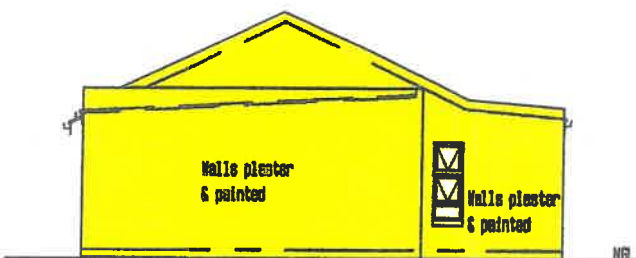
22/4/2024,
DATE:

	WINDOW AREA 1.44m ²	WINDOW AREA 0.90m ²	WINDOW AREA 1.89m ²	
WINDOW/DOOR NUMBER	W1	W2	D1	D2
QUANTITY	3	1	1 LH	2 LH 1RH
FINISH	STANDARD ALUMINIUM TOP HUNG WINDOW AS BY ALUMINIUM SPECIALIST.	STANDARD ALUMINIUM TOP HUNG WINDOW AS BY ALUMINIUM SPECIALIST.	STANDARD ALUMINIUM SINGLE SWING DOOR WITH SIDELIGHTS AS BY SPECIALIST OR SIMILAR APPROVED.	STANDARD HEAVY DUTY INTERNAL DOOR SUPPLY BY CAPE CULTURE JOINERY OR SIMILAR APPROVED.
GLASS	SAFETY GLASS AS PER NER N SABS 0400 AND SABS RECOMMENDATIONS 1037 & 1060.	SAFETY GLASS AS PER NER N SABS 0400 AND SABS RECOMMENDATIONS 1037 & 1060.	SAFETY GLASS AS PER NER N SABS 0400 AND SABS RECOMMENDATIONS 1037 & 1060.	NONE

NOTE:
ALL GLAZING TO COMPLY WITH REQUIREMENTS OF SABS 10137 & SABS 10400 PART II- ACCESS DOORS AND SIDELIGHTS TO HAVE SAFETY GLASS, WINDOWS LOWER THAN 500mm FROM FLOOR, WINDOWS LOWER THAN 1800mm ABOVE PITCH LINE OF STAIRS AND SHOP FRONTS TO BE SAFETY GLASS.



100 WEST ELEVATION



100 NORTH ELEVATION



100 EAST ELEVATION

ALLE TEKENINGE EN AFMETINGS MOET NABESTEN EN VERBELYK NORD VOOR MATERIAAL, BESTEL EN ENDE BOUWERK BEGIN WORD. VERBILDE MOET DADELIK OOR DIE AANDAG VAN ARCHITEK GEBRING WORD. KOPIERED WORD VOORHELD OP ALLE TEKENINGE EN ONTWERP

ALL DRAWINGS AND DIMENSIONS MUST BE CORRELATED BEFORE ANY MATERIALS ARE ORDERED OR BUILDING WORK COMMENCES. ANY DIFFERENCES MUST BE BROUGHT UNDER THE ATTENTION OF THE ARCHITECT IMMEDIATELY. COPYRIGHT IS RESERVED ON ALL DRAWINGS AND DIMENSIONS

REV.	DATE	DESCRIPTION
A	22/05/2023	UPDATE DRAWINGS FOR MUNICIPAL AMENDMENTS SEE CLOUDS.

DEVELOPMENT DATA:	
SITE AREA	118sqm
NEW ADDITIONS:	
GROUND FLOOR	34sqm
EXISTING DWELLING	40sqm
OVERALL TOTAL	74sqm
COVERAGE PER SQM	74sqm
EXISTING COVERAGE	34%
ADDITIONS COVERAGE	28%
TOTAL COVERAGE	62%

12 TAARBS CLOSE
THE RIDGE
IDIAS VALLEY
STELLENBOSCH
7600

CELL: 0728082334

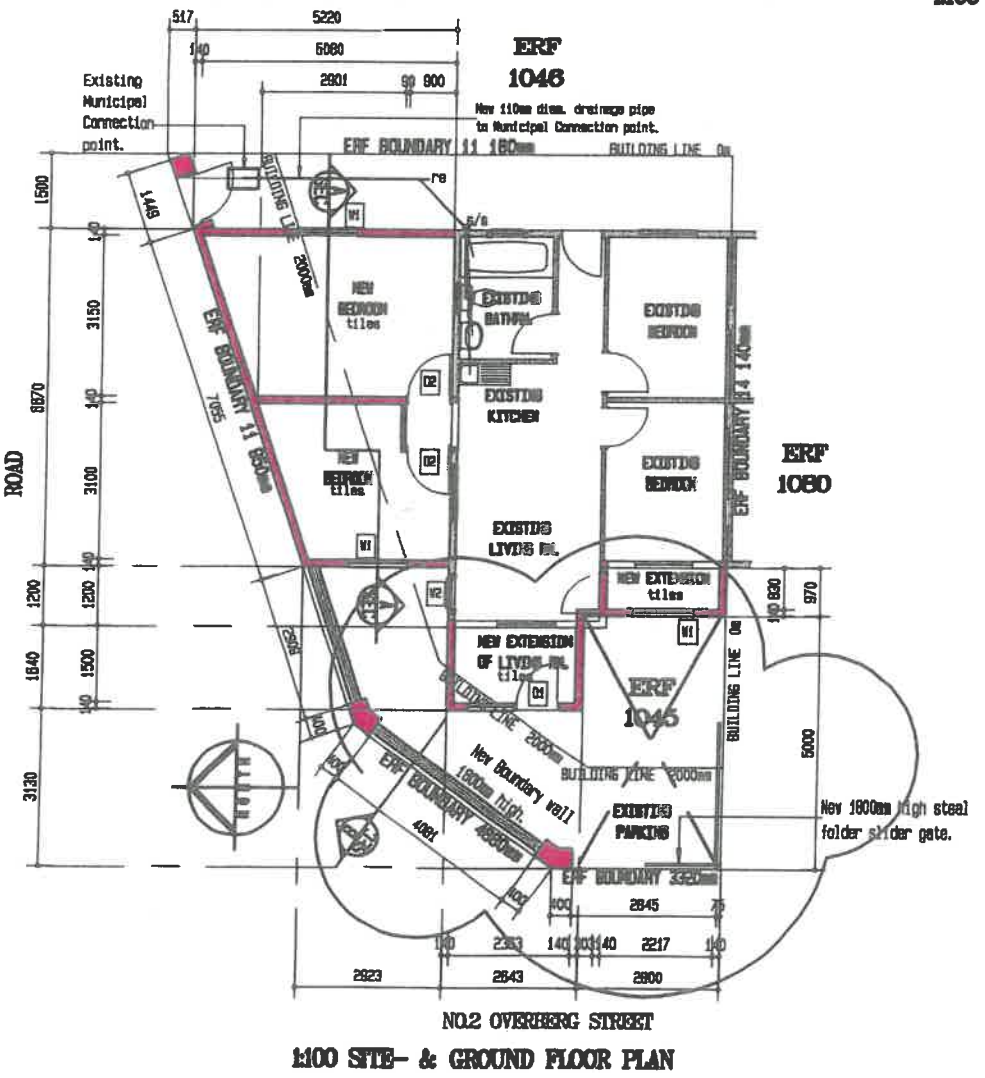
SACAP NO.D2280

SKEMA / PROJECT
ALTERATIONS & ADDITIONS

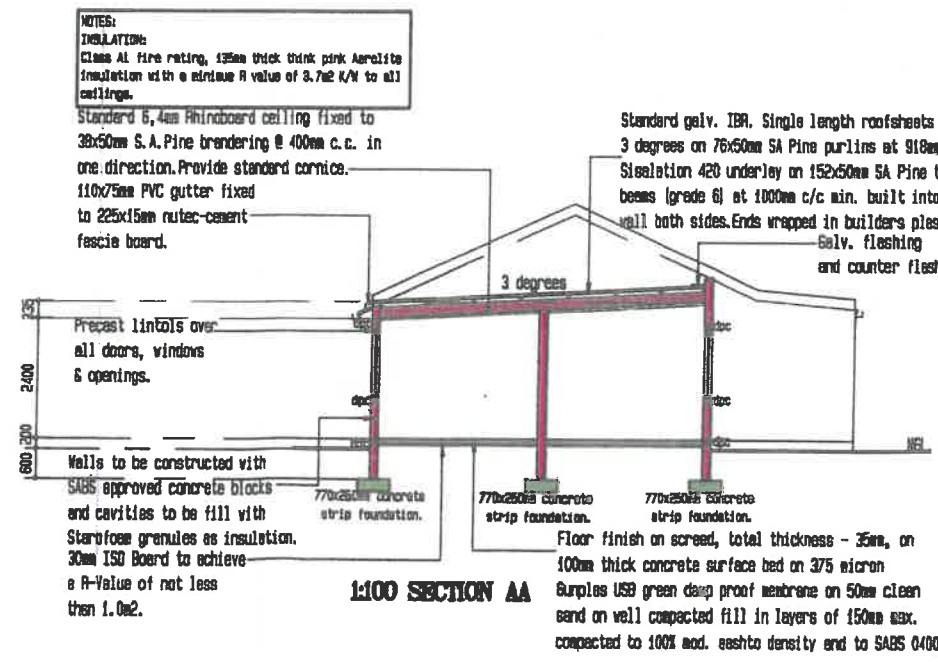
JAMESTOWN, STELLENBOSCH

TEKENING / DRAWING
MUNICIPAL DRAWING:
PLANS, SECTION
ELEVATIONS, WINDOW
& DOOR SCHEDULES

DESIGNED	REV.	TEKENING Nr.
D. LAKEY	A	DRAWING No.
SCALE	DATE	2023/10/01
AS SHOWN	MAY. 2023	CHECKED
		ISSUED



100 SITE- & GROUND FLOOR PLAN



100 SECTION AA

NOTES:
INSULATION:
Class A1 fire rating, 125mm thick pink Aerslite insulation with a minimum R value of 3.76 R/M to all ceilings.
Standard 6,4m Rhinoboard ceiling fixed to 38x50mm S.A. Pine bracing @ 400mm c.c. in one direction. Provide standard cornice.
110x75mm PVC gutter fixed to 225x15mm nutec-cement fascie board.

Standard galv. ZBR. Single length roofsheets 3 degrees on 76x50mm SA Pine purlins at 918mm c/c on Sisealation 420 underlay on 152x50mm SA Pine timber beams (grade 6) at 1000mm c/c min. built into wall both sides. Ends wrapped in builders plastic. Galv. flashing and counter flashing.

Precast lintels over all doors, windows & openings.

Walls to be constructed with SABS approved concrete blocks and cavities to be fill with Starnfoam granules as insulation. 30mm ISO Board to achieve a R-Value of not less than 1.0m2.

Floor finish on screed, total thickness - 35mm, on 100mm thick concrete surface bed on 375 micron Surplus USB green damp proof membrane on 50mm clean sand on well compacted fill in layers of 150mm each compacted to 100% mod. eashto density and to SABS 0400



STELLENBOSCH MUNICIPALITY
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MEMORANDUM

DIREKTORAAT: INFRASTRUKTUURDIENSTE
DIRECTORATE: INFRASTRUCTURE SERVICES

CIVIL ENGINEERING SERVICES

To ▫ Aan: Director: Planning + Economic Development
Att Aandag: Nolusindiso Momoti
From ▫ Van: Technician: Development (Infrastructure Services)
Author ▫ Skrywer: Xolani Tika
Date ▫ Datum: 27 March 2024
Our Ref ▫ Ons Verw: Civil LU 2667
Town Planning Ref: LU/16057 – TP 366/2023
Re ▫ Insake: Erf 1045, Jamestown: Application is made in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2023, for a departure to relax the street building line from 2m to 0m (adjacent to Mountainview Street) for the proposed additional bedrooms and the extension of the existing living room on Erf 1045 Jamestown -Stellenbosch.

The application is recommended for approval, subject to the following conditions.

Civil Engineering services

The existing sewer and water connection points must not be damaged during construction work.


Xolani Tika
Technician: Development (Infrastructure Services)

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