



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/10019

Our File Reference Number: Erf 1468, Franschhoek

Your Reference Number: None

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: robyn@millenaararch.co.za

Sir / Madam

APPLICATION FOR DEPARTURE: ERF 1468, MIDDAGKRANS, FRANSCHHOEK

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 That the application for a departure on Erf 1468, Franschhoek in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning By-Law 2015, **BE APPROVED**, to relax the rear building line from 3m to 0m for the proposed extension of the existing outbuilding comprising of a storeroom on the upper floor with open volume on the ground floor as indicated on Drawing No. a-1.101, Drawn by Millenaar Architects, dated Oct 2020 (**See Appendix 1**) in terms of Section 60 of the said By-Law.
 - 2.2 **Conditions of approval in terms of Section 66 of the said By-Law:**
 - 2.2.1 The approval shall lapse if not acted upon within a period specified within the aforementioned By-Law;
 - 2.2.2 The approval applies only to the departure applied for and shall not be construed as authority to depart from any other Council requirements or legal provisions;
 - 2.2.3 Building plans must be submitted to this Municipality for approval.

2.3 Reasons for the above Decision

(a) The additions are seen as an extension to the existing outbuilding for the use of the resident of the dwelling house and is thus in line with the Zoning of the property.

3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

- (I) First names and surname;
- (II) ID number;
- (III) Company of Legal person's name (if applicable)
- (IV) Physical Address;
- (V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

(c) The grounds of the appeal which may include the following grounds:

- (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
- (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

(d) whether the appeal is lodged against the whole decision or a part of the decision;

(e) if the appeal is lodged against a part of the decision, a description of the part;

(f) if the appeal is lodged against a condition of approval, a description of the condition;

- (g) the factual or legal findings that the appellant relies on;
 - (h) the relief sought by the appellant; and
 - (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
 - (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.
5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: Lenacia.Kamineth@stellenbosch.gov.za.
6. An applicant who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
7. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
8. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.

(c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.

(d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

10. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully

A handwritten signature in black ink, consisting of a series of loops and curves, positioned above a horizontal line.

FOR: DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

21/1/2021

DATE:

ALL LEVELS AND DIMENSIONS SHOWN ON THIS DRAWING ARE TO BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ANY WORK IS STARTED. THIS DRAWING IS NOT TO BE SCALED. FIGURED DIMENSIONS ONLY TO BE USED. ANY DISCREPANCIES SHOWN ON THIS DRAWING ARE TO BE REPORTED TO THE ARCHITECT.

GENERAL NOTES
 ALL BUILDING WORK TO COMPLY WITH N.B.R. & L.A. SCHEMES.
FOUNDATIONS:
 FOUNDATIONS OR ANY PART OF STRUCTURE TO PROJECT PROPERLY TO ADJOINING WALLS.
 BRICK PIER FOUNDATIONS TO BE MIN. 200mm THICK & PROJECT
 MIN. 200mm PAST BRICKWORK
 INTERNAL FOUNDATIONS = 700x230mm STRIP CONCRETE BRICKWORK.

 GUTTER WALLS TO BE SEALED OFF ABOVE WALL PLATE AND BE 100mm ABOVE FINISH FLOOR LEVEL.
 PRE-CAST LINTOLS - MIN. 4 COURSES BRICKWORK WITH BRICKGORGE OVER ALL OPENINGS LESS THAN 3m WIDE - LAID TO MANUF. SPEC.
 STRESSO LINTOLS OVER ALL OPENINGS BETWEEN 3m WIDE AND 4.8m WIDE - LAID TO MANUF. SPEC.
 4.8m WIDE - LAID TO MANUF. SPEC.
 DOOR THRESHOLDS TO BE 150mm ABOVE FGL.
 DOOR THRESHOLDS WITH SHOW/GLAZING: NOT APPLICABLE.
ROOFS:
 GABLE END WALLS TO BE SECURED AND ANCHORED WITH GALV. HOOP IRON STRAPS 1.2mm THICK BY 30mm WIDE AT 600 CENTRES EMBEDDED 80mm IN WALL, BENT OVER AND FIXED TO 3 RAFTERS.
 RAFTERS TO BE TIED DOWN TO WALLS WITH 1.2mm BY 30mm GALV. HOOP IRON STRAPS EMBEDDED 80mm IN WALL PURLINS 50x75 TO BE SPACED MAX. 1200mm C/C
 BATTENS 38x38mm TO BE SPACED MAX. 320mm C/C
 NO NOTCHING ALLOWED TO TIMBER.
 FLASHINGS TO BE PROVIDED TO PARAPETS AND CHIMNEYS. ALL STRUCTURAL TIMBER TO BE GRADE 5 S.A.P. AND WRAPPED IN D.P.M. WHEN BUILT IN WALLS.
 APPROVED UNDERLAY UNDER ROOF TILES
 ALL NEW GUTTERS & SEWERAGE: GUTTERS AND SEWERAGE DRAINAGE TO BE ENCASED IN MIN. 100mm CONCRETE WHERE UNDER BUILDINGS OR WITHIN DRIVEWAYS
 MIN. ONE GUILLEY PER DRAINAGE SYSTEM
 ALL DRAINAGE FLOWS IN DIRECTION OF MAIN SEWER
 NO SEWER OR DRAINAGE CONNECTIONS UNDER SLAB DRAINAGE SECTIONS TO BE ANTISYPHONED OR HAVE REVERSE WATER VALVES
 SEAL TRAPS WHERE APPLICABLE
 REVERSE WATER VALVES TO DISCHARGE MIN. 3m FROM BUILDINGS AND BOUNDARIES.
STAIRCASES:
 TREADS = MIN. 250mm, RISERS = MAX. 200mm; HEADROOM MIN. 2.1m. BALLUSTRADE = MIN. 1m AFFL. WITH MAX. 100mm OPENINGS - ALL PER N.B.R.
FLOORS:
 INTERIOR P.V.C. SHEETING BELOW FLOOR SLABS
 CONCRETE SLABS WITH REINFORCING PER STRUCT. ENG. DETAILS TO MIN 7mm THICK
GENERAL:
 PROVIDE MIN. 450x450x600mm CONC. BASES TO GAV. POSTS

millenaar architects
 10 Peach Lane Newlands 7700
 Email: robyn@millenaar.co.za
 Phone: 082 5340991

Project title:
 New Dwelling for Smith
 Middagkraans Rd
 Franschoek
 ERF NO.: 1468

Drawing title:
 Council Drawings:
 Site & Roof Plan

drawn: CV	date: OCT 2020	job no: 1468	scale: 1:500
drawing no: A-1.101	rev: 04		

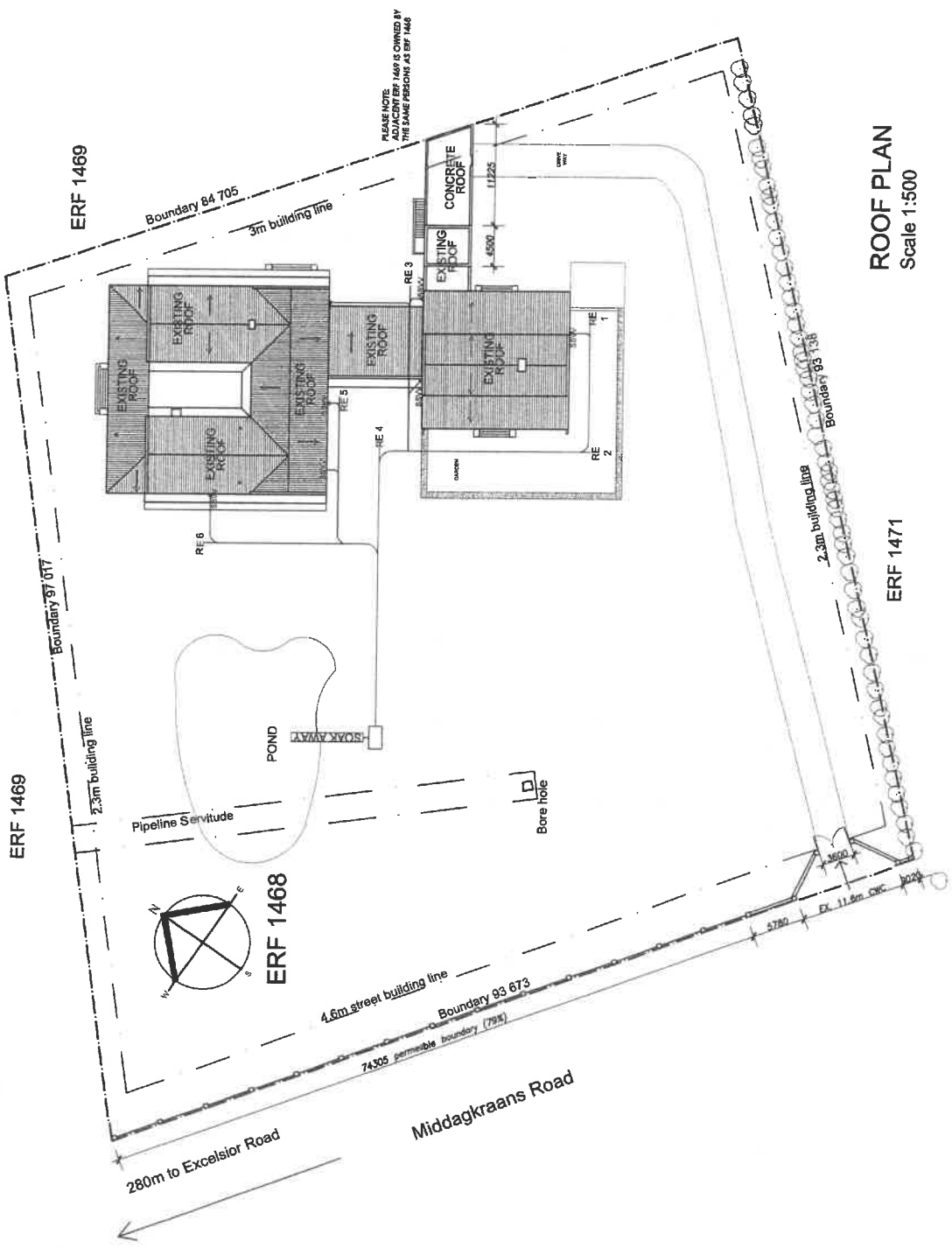
AREA CALCULATIONS:
 EX. GROUND STOREY 683.5msq
 EX. COVERED PATIOS 192.2msq
 EX. PATIOES 23.4msq
 EX. FIRST ST. BALCONY 54.0msq
 TOTAL 953.1msq
 ERF 10.7%

COUNCIL NOTES:
 14 INFORMATION:
 No Cladding - NA Not Applicable

ERP 1071 02.12.2019

[Signature]
 THE FRANSCHOOERSPARA PH LTD
 FRM 1114 06.12.2019
[Signature]

OWNERS:
[Signature]
 J. Paarl & Co. Architects
[Signature]



ROOF PLAN
 Scale 1:500

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GENERAL NOTES
ALL BUILDING WORK TO COMPLY WITH N.B.R. & L.A. SCHEMES.
FOUNDATIONS:
 NO FOUNDATIONS OR ANY PART OF STRUCTURE TO PROJECT PROPERTY BOUNDARIES
 BRICK PIER FOUNDATIONS TO BE MIN. 200mm THICK & PROJECT 100mm PAST BRICKWORK
INTERNAL FOUNDATIONS = 100x230mm STRIP CONCRETE BRICKWORK:

 CAVITY WALLS TO BE SEALED OFF ABOVE WALL PLATE AND BELOW D.P.C.
 BRICKWORK OVER ALL OPENINGS LESS THAN 3m WIDE - 4 COURSE STRESSO
 STRESSO LINTOLS OVER ALL OPENINGS BETWEEN 3m WIDE AND 4.8m WIDE - LAID TO MANUF. SPEC.
 DFC TO BE 50mm ABOVE FGL
DOORS AND WINDOWS/GLAZING:
 NOT APPLICABLE
ROOFS:
 ALL LEAD WALLS TO BE SECURED AND ANCHORED WITH GALV. D.P.A. MIN. 2mm THICK BY 30mm WIDE AT 800 CENTRES EMBEDDED 60mm IN WALL. BENT OVER AND FIXED TO 3 RAFTERS.
 RAFTERS TO BE TIED DOWN TO WALLS WITH 1.2mm BY 30mm GALV. HOOP IRON STRAPS EMBEDDED 600mm IN WALL.
 PURLINS 50x76mm TO BE SPACED MAX. 1200mm C/C
 BATTENS 38x38mm TO BE SPACED MAX. 320mm C/C
 FLASHINGS TO BE ALLOWED TO TIMBER
 ALL STRUCTURAL TIMBER TO BE GOOD T.S.A.P. AND WRAPPED IN D.P.M. WHEN BUILT IN WALLS
DRAINAGE & SEWERAGE:
 ALL NEW OR EXISTING DRAINAGE TO BE ENCASED IN MIN. 100mm CONCRETE WHERE UNDER BUILDINGS OR WITHIN BUILDINGS
 MIN. ONE GULLY PER DRAINAGE SYSTEM
 ALL DRAINAGE FLOWS IN DIRECT MAIN SENES
 NO SEWER OR DRAINAGE CONNECTIONS UNDER SLAB
 DRAINAGE SECTIONS TO BE ANTISYPHONED OR HAVE DEEP SEAL TRAPS WHERE APPLICABLE
 RAIN-WATER TO DISCHARGE MIN. 3m FROM BUILDINGS AND BOUNDARIES.
STAIRCASE:
 STAIRCASE MIN. 250mm RISERS = MAX. 200mm; HEADROOM MIN. 2.1m. BALUSTRADE = 1m APFL. WITH MAX. 100mm OPENINGS - ALL PER N.B.R.
FLOORS:
 250 MICRON P.V.C. SHEETING BELOW FLOOR SLABS
 CONCRETE SLABS WITH REINFORCING PER STRUCT. ENG. DETAILS TO MIN 78mm THICK
GENERAL:
 PROVIDE MIN. 450x450x600mm CONC. BASES TO GAV. POSTS

AREA CALCULATIONS:
 EX. GROUND STOREY 683.57sqm
 EX. COVERED PATIOS 192.27sqm
 NEW FIRST STOREY 23.47sqm
 NEW FIRST ST. BALCONY 54.07sqm
 TOTAL 953.38sqm
 ERF 875.77sqm
 COVERAGE 10.7%

COUNCIL NOTES:
 ZA INFORMATION:
 No Clearing - 'X' Not Applicable

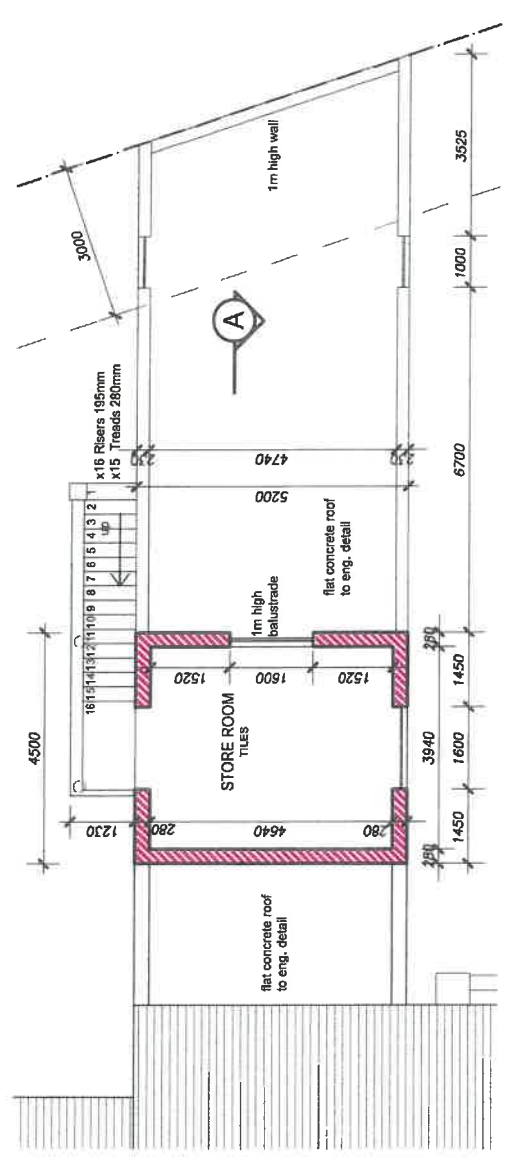
OWNERS:
 J. Smith
 J. Paul
 Architects
 millenaar architects

project title:
 New Dwelling for Smith
 Middagkraans Rd
 Franschoek

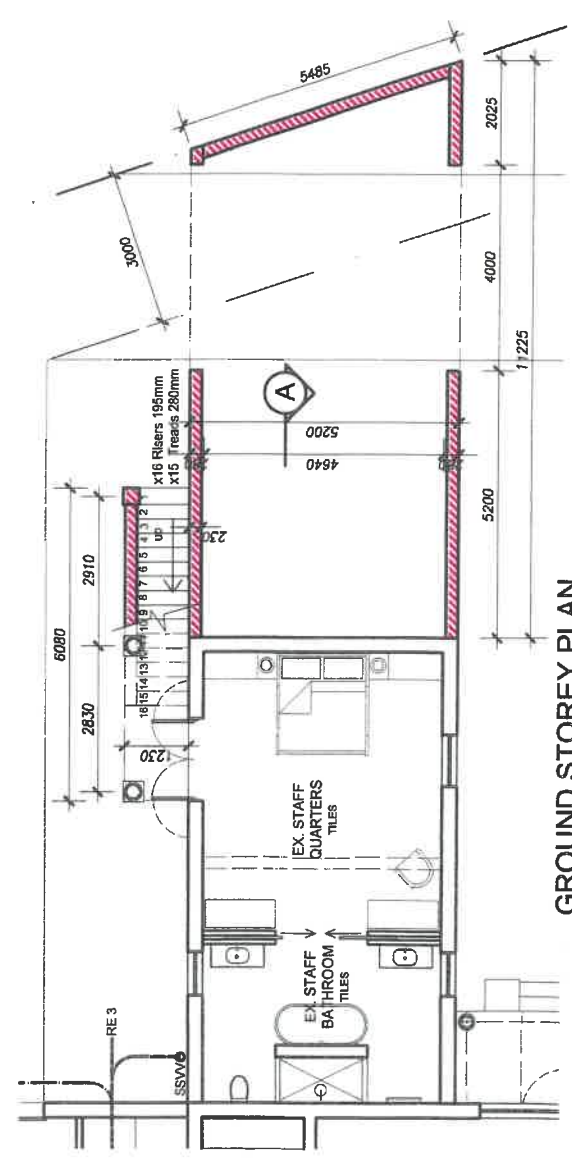
drawing title:
 Council Drawings:
 Plans

drawing No: A-1.102
scale: 1:100
date: OCT 2020
job no: 1416
drawn: CV
rev: 04

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 10 Peach Lane, Newlands 7700
 Email: robyn@millenaararch.co.za
 Phone: 082 3340991



FIRST STOREY PLAN
 Scale 1:100



GROUND STOREY PLAN
 Scale 1:100

AREA CALCULATIONS:

EX. GROUND STOREY	653.8m ²
EX. COVERED PATIO	132.2m ²
NEW FIRST STOREY	27.2m ²
NEW FIRST ST. BALCONY	54.6m ²
ERF	815.7m ²
TOTAL	815.7m ²
COVERAGE	10.7%

COUNCIL NOTES:

KA INFORMATION:
No Clearing - JA Not Applicable

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GENERAL NOTES

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FOUNDATIONS:
NO FOUNDATIONS OR ANY PART OF STRUCTURE TO PROJECT PROPERTY BOUNDARIES.
BRICK PIER FOUNDATIONS TO BE MIN. 200mm THICK & PROJECT.

MIN. 200mm PAST BRICKWORK
INTERNAL FOUNDATIONS = 700x230mm STRIP CONCRETE
REINFORCEMENT:
.....
CAVITY WALLS TO BE SEALED OFF ABOVE WALL PLATE AND BELOW D.P.C.
PRE-CAST LINTOLS + MIN. 4 COURSES BRICKWORK WITH BRICKFORCE OVER ALL OPENINGS LESS THAN 3m WIDE. LAID TO MANUF. SPEC.
STRESSO LINTOLS OVER ALL OPENINGS BETWEEN 3m WIDE AND 4m WIDE. LAID TO MANUF. SPEC.
D.P.C. TO BE 150mm ABOVE FSL.
DOORS AND WINDOWS/GLAZING:
NOT APPLICABLE

ROOFS:
GABLE END WALLS TO BE SECURED AND ANCHORED WITH GALV. HOOP FROM STRAPS 1.2mm THICK BY 30mm WIDE AT 600 CENTRES EMBEDDED 600mm IN WALL. BENT OVER AND FASTENED TO RAFTERS.
ROOFS TO BE DOWN TO WALLS WITH 1.2mm BY 30mm GALV. HOOP FROM STRAPS EMBEDDED 600mm IN WALL.
PURLINS 50x75mm TO BE SPACED MAX. 1200mm C/C
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NO NOTCHING ALLOWED TO TIMBER
FLASHINGS TO BE PROVIDED TO PARAPETS AND CHIMNEYS. ALL STRUCTURAL TIMBER TO BE GRADE & S.A.P. AND APPROVED IN D.P.M. WHEN BUILT IN WALLS.
DRAINAGE & SEWER PIPES UNDER ROOF TILES

ALL NEW OR EXISTING DRAINAGE TO BE ENCASED IN MIN. 100mm CONCRETE WHERE UNDER BUILDINGS OR WITHIN DRIVEWAYS
MIN. ONE GULLEY PER DRAINAGE SYSTEM
ALL DRAINAGE FLOWS IN DIRECTION OF MAIN SEWER
SEWER OR DRAINAGE CONNECTIONS UNDER SLAB OR IN WALLS TO BE ANTISYPHONED OR HAVE DEEP SEAL TRAPS TO BE ANTISYPHONED OR HAVE DEEP SEAL TRAPS TO BE ANTISYPHONED OR HAVE RAIN-WATER TO DISCHARGE MIN. 5m FROM BUILDINGS AND BOUNDARIES.
STAIRCASE:
TREADS = MIN. 250mm. RISERS = MAX. 200mm; HEADROOM MIN. 2.1m. BALUSTRADE = MIN. 1m AFFL. WITH MAX. 100mm OPENINGS - ALL PER N.B.R.
CONCRETE TO BE 250 MEGAPASCAL SHEETING BELOW FLOOR SLABS
CONCRETE SLABS WITH REINFORCING PER STRUCT. ENG. DETAILS TO MIN 70mm THICK

GENERAL:
PROVIDE MIN. 450x450x800mm CONC. BASES TO GAV. POSTS



millenar architects
10 Peach Lane Newlands 7700
Email: tobym@millenararch.co.za
Phone: 082 3340991

Project title:
New Dwelling for Smith
Middagkroons Rd
Franschoek

ERF NO: 1168

drawing title:
Council Drawings:
Sections and Elevations

drawn:	date:	job no:	scale:
CV	OCT 2020	1470	1:100
drawing no:	rev:		
A-1.103	04		

OWNERS:

Colt Smith
Tj Potlouw
Architects

Millenar

